



LOWER PLATTE SOUTH natural resources district

3125 Portia Street | P.O. Box 83581 • Lincoln, Nebraska 68501-3581
P: 402.476.2729 • F: 402.476.6454 | www.lpsnrd.org

Memorandum

Date: January 12, 2023
To: Urban Subcommittee
From: Mark Lindemann, District Engineer 
Subject: Urban Subcommittee Meeting Minutes – January 2023

The Urban Subcommittee met on Thursday, January 12, 2023, at the NRD Office, at 5:30 pm. Subcommittee members participating included Tom Green- committee chair, Gary Aldridge, Lisa Lewis, Larry Ruth, and John Yoakum. Others participating included Board Chair Deb Egan, NRD staff Paul Zillig, David Potter, Al Langdale, Drew Ratkovec, Mike Murren, and Mark Lindemann. Myron Tremain with Lincoln Meadows HOA, and Tim Gergen and Speicher of Clark Enersen were also in attendance. Director Green called the meeting to order at 5:30pm and thanked the committee members for their service over the past year. There were three (3) items the Subcommittee took action on, and a report was given on one item. A quorum was present for the meeting.

12a. Consideration of a Professional Services Agreement with Intuition and Logic for Stream Stability Design Review of the Dead Man’s Run Flood Reduction Project [ACTION]—Lindemann explained that the U.S. Army Corps of Engineers (USACE) are expected to provide their 65 % design plans for the Section 205 Flood Reduction Project to the NRD on January 17th. With the 65% plans in hand, many activities will be taking place, including ROW negotiations, finalizing design on 48th and 38th St. bridges, and coordination and review with the BNSF Railroad, departments of Lincoln Transportation and Utilities (LTU), Lincoln’s Railroad Transportation Safety District (RTSD), and various utilities. In previous meetings on the project, the City Watershed and NRD had agreed on the need for a review of the plans to verify that the project designs provide a stable channel long term, and that the future maintenance requirements are practical for NRD staff. The NRD contacted Intuition & Logic to provide a scope of services for this plan review. The NRD believes the work that Intuition and Logic does is exceptional, and they are considered national experts in stream stability and flood reduction projects and have previously participated in analysis and review of the project in earlier stages of design. Intuition & Logic’s proposal, at a cost not to exceed \$11,370, consists of plan review, design and maintenance plan recommendations, and meetings with the City and NRD and with the USACE project team.

It was moved by Lewis, seconded by Yoakum, and unanimously approved by the Subcommittee to recommend that the Board of Directors approve the Professional Services Agreement with Intuition and Logic, in an amount not to exceed \$11,370 for the Stream Stability Design Review of the Dead Man’s Run Flood Reduction Project.

12b. Consideration of a Community Assistance Program Application for a Storm Sewer Replacement Project from the Lincoln Meadows Homeowners Association [ACTION] – Murren introduced Drew Ratkovec, the new stormwater specialist that will take over the Community Assistance Program (CAP) duties. Murren then went on to explain that the Lincoln Meadows Homeowners Association (HOA) has submitted an application to the CAP for cost-share assistance request for the replacement of their 48-inch storm sewer system. The concrete pipes have settled and separated at many locations and not is functioning properly, and as a result, has caused extensive erosion along the private drainageway. It was also noted that some of the erosion holes have been fenced off due to safety concerns. The HOA retained Clark Enersen to develop plans for a replacement project and received three bids from contractors. President of the HOA, Myron Tremain, and representatives of Clark Enersen were available to answer questions about the project. Tim Gergen, from Clark Enersen described the drainage area size and original design of the existing storm sewer system and that the project, designed to meet City standards, will remove and replace the existing storm sewer from South Street to the open portion of the channel. Mr. Tremain stated that he has spoken with the low-bid contractor and that construction would begin soon after approval by the Board, and is expected to be completed in two weeks. The low bid of \$71,768.41, by Bauer Infrastructure, LLC has been selected by the HOA. The HOA has requested a 50-50 cost-share with the NRD, of which the NRD would contribute \$35,884.20 for the project.

It was moved by Lewis, seconded by Ruth, and unanimously approved by the Subcommittee to recommend that the Board of Directors approve the Community Assistance Program application request for the storm sewer replacement project from Lincoln Meadows HOA, at a cost-share amount of 50% of the total cost of \$71,768.41, not to exceed \$35,884.20 of NRD funds, pending legal counsel review.

The Subcommittee then discussed the need to go into closed session for the next agenda item to discuss the landrights negotiations for an easement for the South Salt Creek Master Plan Project #6. At 6:03 pm, it was moved by Lewis, seconded by Ruth, and approved (4 “yes”, Aldridge voting “no”) for the Subcommittee to go into closed session to protect the public interest to discuss the negotiations for the South Salt Creek Master Plan Project #6.

At 6:16 pm, it was moved by Lewis, seconded by Yoakum, and approved by the Subcommittee (4 “yes”, Aldridge voting “no”) to return to Open Session.

12c. Consideration of Appraisals and Landrights Negotiations for a Permanent Easement for the South Salt Creek #6 Watershed Master Plan Project [ACTION] – Murren reported that he made contact with Ronald Oelling December 19th and delivered the NRD’s offer per the December 14th recommendation of the Board to approve of the appraisal and authorization of NRD staff to negotiate and acquire the necessary easement. Murren then met with Mr. Oelling on January 5, 2023, to discuss the NRD’s offer. Mr. Oelling and has proposed a counteroffer. The Subcommittee discussed the counteroffer and there was consensus that it is reasonable and fair.

It was moved by Lewis, seconded by Yoakum, and unanimously approved by the Subcommittee to recommend that the Board of Directors approve the counteroffer from Ronald and Judeen Oelling for a permanent easement for construction and future operations and to draft easement documents for the South Salt Creek #6 Watershed Master Plan Project, pending legal counsel review.

12d. Report on Landrights Acquisition Processes for Temporary Construction Easements for the 52nd and Beal Slough Project– Langdale reported that Travis Figard at E&A Consulting Group had made contact with the landowners A.M. Davis Mercantile Company and Mark A. Bousek to negotiate damages for acquiring temporary landrights for the 52nd & Beal Slough Stream Stabilization Project as per the December 14th recommendation of the Board to authorize staff to begin the process of landrights acquisition in accordance with Director Lewis’s guidance. A.M. Davis and Bousek both have accepted the offers made. Next steps will be to draft easement agreements and exhibits. Zillig explained that District Operating Policies (item G-1, paragraph 1) gives the General Manager authorization to execute temporary construction easements, and no further Board action is required.

After no further questions, Zillig and Lindemann reported that they attended the final reading at City Council for the City Ordinance updates to the Flood and Water Quality Protection Manual. The Ordinances and City supported amendments were approved and will go into effect March 1, 2023. An amendment approved by the Council requires LTU to develop a work plan in six months for structural solutions to help mitigate floodplain elevations and also public outreach informing of the updated FEMA floodplain maps and provide awareness of predicted flooding as related to NOAA Atlas 14 rainfall data. Zillig noted that the NRD will be involved in the development of this work plan, and may request some Directors for assistance.

Meeting adjourned at 6:24 pm.

cc: Deb Eagan
Steve Seglin
Corey Wasserburger



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Memorandum

Date: January 10, 2023
To: Urban Subcommittee
From: Mark Lindemann, District Engineer
Subject: Urban Subcommittee Background Information – January 2023

The Urban Subcommittee will be meeting on Thursday January 12, 2022, at the NRD Office, at 5:30 pm to review, discuss and take action on several items. The following summarizes the items to take action on at the meeting. Please find the attached background information on these items; the red letters shown on the upper right of the attachments help denote which item below they relate to.

12a. Consideration of a Professional Services Agreement with Intuition and Logic for Stream Stability Design Review of the Dead Man’s Run Flood Reduction Project [ACTION] – The 65-percent plans for the Dead Man’s Run Section 205 Flood Reduction Project will be submitted to the NRD and City Watershed Division to review on January 17, 2023. The City and NRD have agreed that it would be beneficial to have a third-party engineer perform a review of the plans to ensure a successful project that the NRD will be able to operate and maintain in the future. The NRD contacted Intuition and Logic Engineering, Inc., to provide a proposal to provide a stream stability design review of the 65-percent project plans. Intuition & Logic are experts in stream stabilization and flood reduction projects and have completed several successful projects for the City and NRD. The firm also has previously performed work on the Section 205 project for Dead Man’s Run and provided several recommendations that have been incorporated into the project. Intuition and Logic has provided a proposal for the plan review and recommendations, at a cost not to exceed \$11,370. See attached agreement from Intuition and Logic.

The Subcommittee will consider a motion to recommend that the Board of Directors approve the Professional Services Agreement with Intuition and Logic, in an amount not to exceed \$11,370 for the Stream Stability Design Review of the Dead Man’s Run Flood Reduction Project.

12b. Consideration of a Community Assistance Program Application for a Storm Sewer Replacement Project from the Lincoln Meadows Homeowners Association [ACTION] – The Lincoln Meadows Home Owners Association (HOA) consists of 22 acres with 90 homeowner units between Normal Blvd and South St. and from South 62nd St. to 66th St. Stormwater runoff is collected into a 48-inch concrete pipe that has separated and caused extensive erosion around the pipes. Because the stormwater system is a privately-owned utility, the City has no authority to perform any repairs or replacement. The HOA hired Clark & Enersen to develop plans and obtain construction bids for the pipe replacement project. The HOA is requesting the NRD to cost share 50-percent of the low bid of \$71,768.41, by Bauer Infrastructure, LLC. If approved by the Board, the NRD’s total assistance to the HOA would not exceed \$35,884.20. See attached CAP application request, project plans, and contractor bids for more information.

The Subcommittee will consider a motion to recommend that the Board of Directors approve the Community Assistance Program application request for the storm sewer replacement project from Lincoln Meadows HOA, at a cost-share amount of 50% of the total cost of \$71,768.41, not to exceed \$35,884.20 of NRD funds, pending legal counsel review.

12c.* Consideration of Appraisals and Landrights Negotiations for a Permanent Easement for the South Salt Creek #6 Watershed Master Plan Project [ACTION] – At the December meeting, the Board approved the appraisal and authorized staff to begin negotiations with Ronald and Judeen Oelling for landrights acquisition for a permanent easement for construction access and future operations for the South Salt Creek Stream Stabilization Project #6 (SSC #6). NRD staff has made an offer as per the December 2022 Board Meeting recommendations. Mr. Oelling has proposed a counteroffer. NRD staff will provide an update report.

A Subcommittee recommendation to the Board of Directors to be determined.

12d. Report on Landrights Acquisition Processes for Temporary Construction Easements for the 52nd and Beal Slough Project– At the December 2022 Board Meeting, approval was given to begin landrights acquisition processes for temporary easements for construction access for the project 52nd and Beal Slough stream stability project. Travis Figard, at E&A Consulting Group, Inc. has contacted A.M. Davis Mercantile Company and Mark A. Bousek regarding the temporary construction easements on their properties. A report on the progress of the landrights negotiations will be given by staff and Mr. Figard.

*Notes the need for a closed session.

Enclosures;
cc: Steve Seglin
Corey Wasserburger
Deb Eagan

Lower Platte South Natural Resources District

Deadman's Run Section 205 Project Geomorphic and Maintenance Review Scope of Service

The purpose of the following scope of services is to review the geomorphic and maintenance components of the Deadman's Run Section 205 project and provide recommendations for consideration.

1.0 Coordination

I&L will coordinate with the NRD and City to receive plans, specifications, calculations including RAS model data, design criteria, and AutoCAD files as available.

2.0 Review

The objective of the geomorphic review is to make recommendations that are practical and implementable. I&L will review the Deadman's Run Section 205 project as follows:

2.1 Fluvial Geomorphology

I&L will review geomorphic components of the design such as geometry (width, slope, sinuosity, riffle-pool), bed and bank material, vegetation, hydraulics, grade controls, bank armor and more.

2.2 Maintenance

I&L will review the maintenance requirements of the current design, including inspection and reporting requirements.

2.3 Recommendations

I&L will develop practical recommendations based on review findings.

2.4 Meeting with NRD and City

I&L will schedule and attend a virtual meeting with the NRD and City to discuss the review findings and preliminary recommendations. I&L will prepare meeting summary notes in PDF format and submit them to the NRD and City via email for review and comment.

2.5 Coordination with USACE

I&L will schedule and attend a virtual meeting with the USACE, NRD and City to present the review findings and discuss recommendations. I&L will prepare meeting summary notes in PDF format and submit them to the USACE, NRD and City via email for review and comment.

3.0 Design Recommendations Memorandum

3.1 Draft Memorandum

I&L will prepare a memorandum summarizing the review approach, findings, and recommendations. The memorandum will include meeting notes and backup materials in an appendix. I&L will submit a draft memorandum in PDF format to the NRD and City via email for review and comment.

3.2 Final Memorandum Submittal to NRD

I&L will incorporate NRD and City comments and submit a final memorandum in PDF format to the NRD and City via email.

DEADMANS RUN 205 GEOMORPHIC REVIEW

\$ 11,370.00



Personnel Type/ Title		Principal	Project Manager (Senior)	Engineer EI	Senior CAD/GIS	Subtotal Hours	Subtotal Personnel Cost	Direct Expenses	Sub Consultant Expenses	Subtotal
		Personnel Billing Rate	225.00	190.00	110.00	110.00				
Coordination										
	Coordinate receipt of plans, RAS, AutoCAD, Specs		1	1		2.00	\$ 300.00			\$ 300.00
						-	\$ -			\$ -
	Subtotal =	0	1	1	0	2.00	\$ 300.00	\$ -	\$ -	\$ 300.00
Review										
	Internal review meeting	1	1	1		3.00	\$ 525.00			\$ 525.00
						-	\$ -			\$ -
	Geomorphic									
	Program Spreadsheet - develop spreadsheet to evaluate station/length/types/depths/elevations/units... for planned design. Use this spreadsheet to evaluate current approach and potential recommendations		1	4		5.00	\$ 630.00			\$ 630.00
	Geometry - evaluate existing and potential riffle pool, sinuosity, slope...		1	1		2.00	\$ 300.00			\$ 300.00
	Grade Control - evaluate location, scour, type, elevation, distance between grade controls		1	1		2.00	\$ 300.00			\$ 300.00
	Bank armor (lower, mid, upper) - evaluate planned and recommended revetments		1	1		2.00	\$ 300.00			\$ 300.00
	Review and discuss recommendations	2	2	2		6.00	\$ 1,050.00			\$ 1,050.00
						-	\$ -			\$ -
	Maintenance									
	Include Maintenance area calculations in program spreadsheet and prepare comparison quantities for recommendations. Evaluate Vegetation - mowing, brush hogging, equipment access			2		2.00	\$ 220.00			\$ 220.00
	Evaluate potential reduction in maintenance	1	1	1		3.00	\$ 525.00			\$ 525.00
						-	\$ -			\$ -
	NRD and City Review Meeting									
	Prep and hold meeting	2	2	4		8.00	\$ 1,270.00			\$ 1,270.00
	summary comments		1	2		3.00	\$ 410.00			\$ 410.00
						-	\$ -			\$ -
	USACE NRD and City Review Meeting									
	prep and hold meeting	2	2	4		8.00	\$ 1,270.00			\$ 1,270.00
	summary comments		1	2		3.00	\$ 410.00			\$ 410.00
						-	\$ -			\$ -

DEADMANS RUN 205 GEOMORPHIC REVIEW

\$ 11,370.00



Personnel Type/ Title	Principal	Project Manager (Senior)	Engineer EI	Senior CAD/GIS	Subtotal Hours	Subtotal Personnel Cost	Direct Expenses	Sub Consultant Expenses	Subtotal
	Personnel Billing Rate	225.00	190.00	110.00	110.00				
Subtotal =	8	14	25	0	47.00	\$ 7,210.00	\$ -	\$ -	\$ 7,210.00
Memorandum									
					-	\$ -			\$ -
Draft					-	\$ -			\$ -
Approach		2	2		4.00	\$ 600.00			\$ 600.00
Findings		2	2		4.00	\$ 600.00			\$ 600.00
Recommendations		2	2		4.00	\$ 600.00			\$ 600.00
Appendix		1	2		3.00	\$ 410.00			\$ 410.00
Submittal	1	1	1		3.00	\$ 525.00			\$ 525.00
					-	\$ -			\$ -
Final					-	\$ -			\$ -
Incorporate Comments		2	2		4.00	\$ 600.00			\$ 600.00
Submittal	1	1	1		3.00	\$ 525.00			\$ 525.00
					-	\$ -			\$ -
					-	\$ -			\$ -
Subtotal =	2	11	12	0	25.00	\$ 3,860.00	\$ -	\$ -	\$ 3,860.00
Subtotal Hours	10.00	26.00	38.00	-	74.00	\$ 11,370.00	\$ -	\$ -	\$ 11,370.00
Subtotal Personnel Cost	\$2,250	\$4,940	\$4,180	\$0	CHECK	\$ 11,370.00			
TOTAL = \$									11,370.00

Intuition & Logic Engineering, Inc. • 16253 Swingley Ridge Road • Chesterfield, MO 63017 • 636-777-3000

December 6, 2022

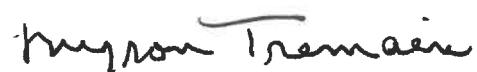
Mr. Mike Murren
Projects Coordinator
Lowere Platte South NRD
3125 Portia Street
Lincoln NE 68521

Dear Mr. Murren

Attached are documents describing the storm sewer replacement project for Lincoln Meadows HOA.

We are asking for a formal review of the project and determination if our project would fit in the Community Assistance program.

If there is any needed information or clarification please let me know.



Myron Tremain Pres
Lincoln Meadows HOA
6415
Boxelder Dr.
Lincoln NE

402-525-3817
Mstremain1965@gmail.com

Storm Sewer Project
December 6 2022

Lincoln Meadows is a 22 acre HOA between Normal Blvd and South St. and S 62nd and the 6600 block. There are 90 home owner units comprising 12 buildings.

During storm runoff an area north of South St between 62nd and 70th comes down through Lincoln Meadows. The main drain crosses South St at Winding Way through 48" tubes exiting into an open flume. The tubes have separated allowing water to escape eroding surrounding soil.

Conversations with the city to assist in repair have been rebuffed.

With this report Lincoln Meadows is formally requesting that the Lower Platte South NRD review our project for the purpose of monetary participation in the replacement project.

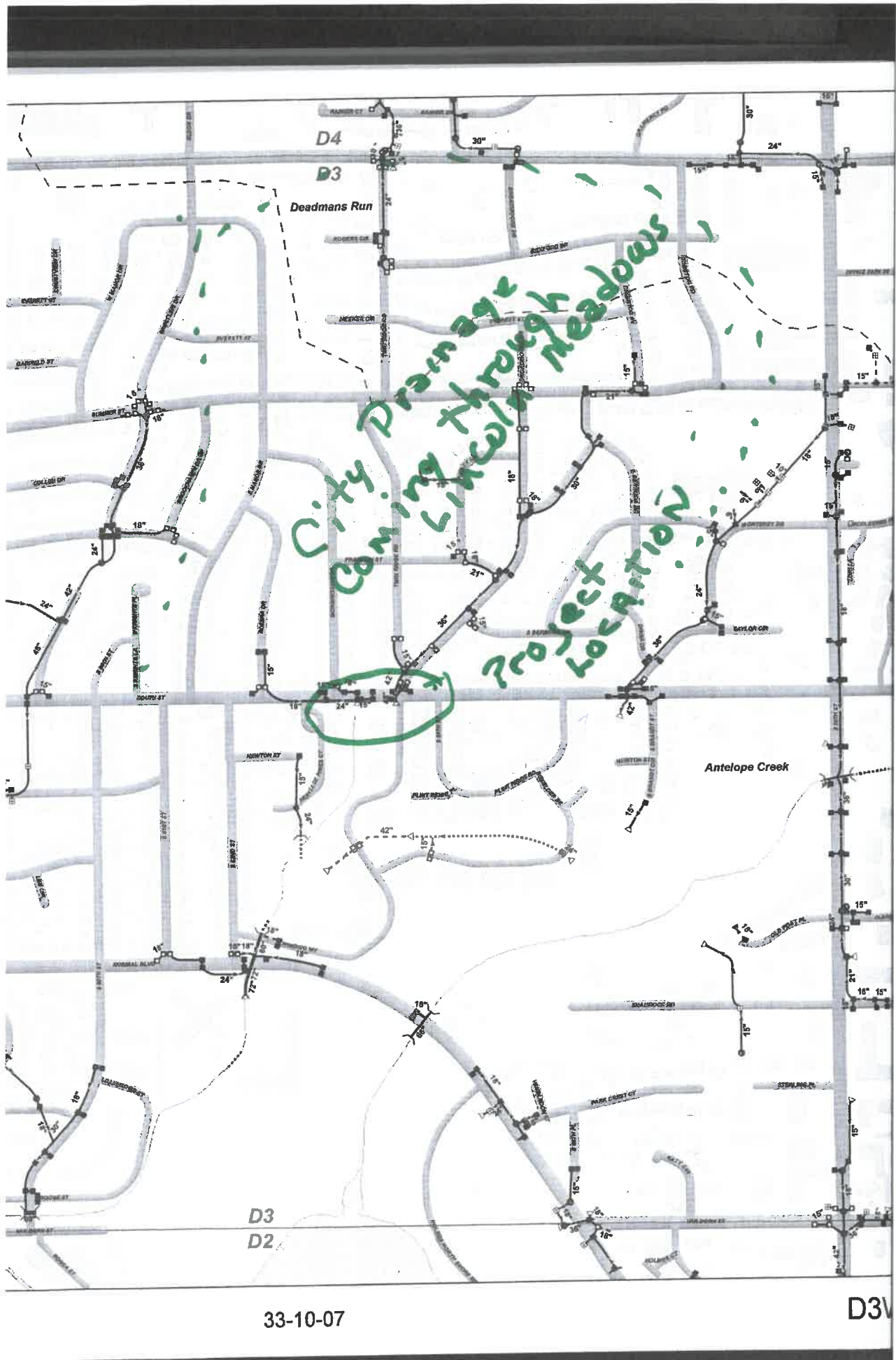
Engineering drawings have been prepared by Tim Gergen

Three project bids have been obtained per these drawings.

Please contact me with any concerns, clarification needed information.

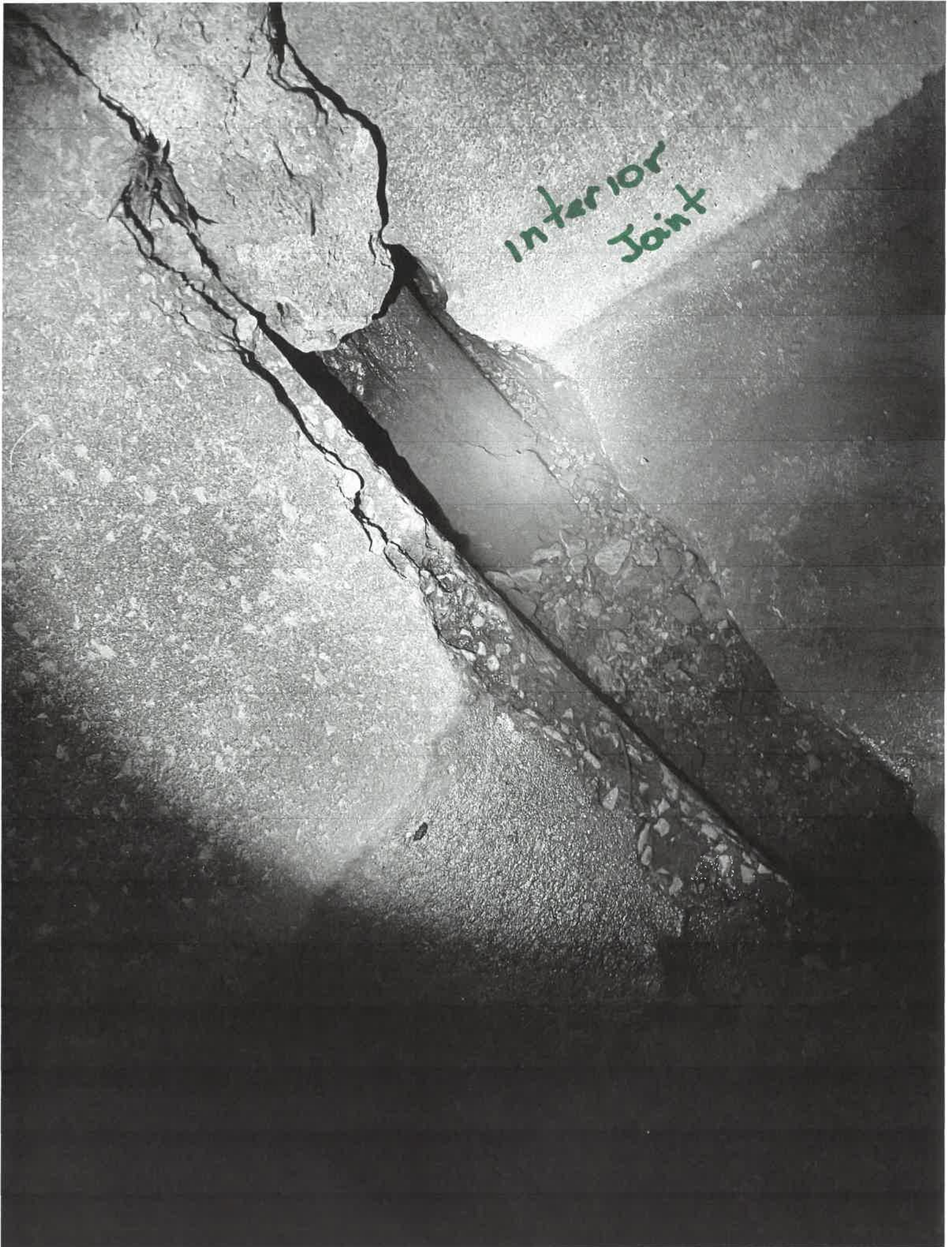
Your review and consideration will be greatly appreciated.

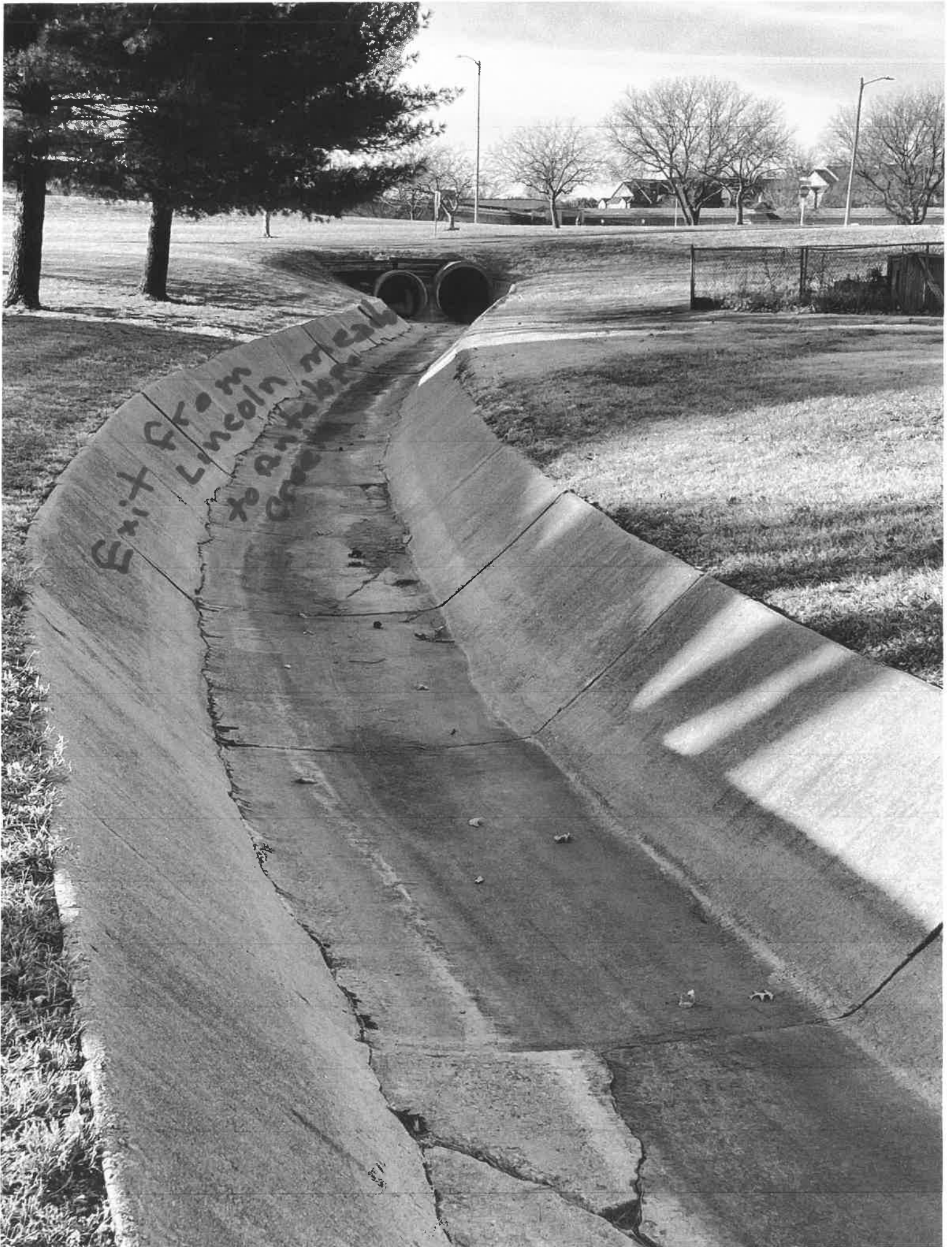








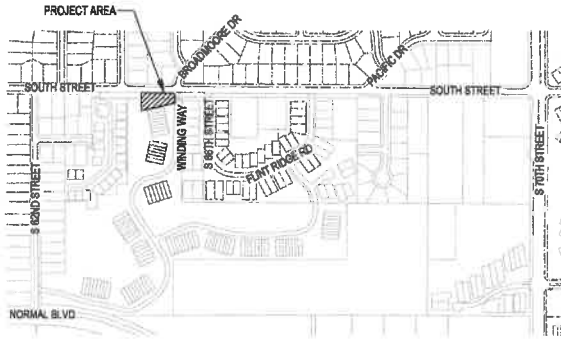




LINCOLN MEADOWS STORM SEWER

CLARK & ENERSEN
 PROFESSIONAL CIVIL ENGINEERS
 1616 S. 16TH STREET, SUITE 100
 LINCOLN, NE 68502
 TEL: 402-476-1100
 FAX: 402-476-1101
 WWW.CLARKANDENERSEN.COM

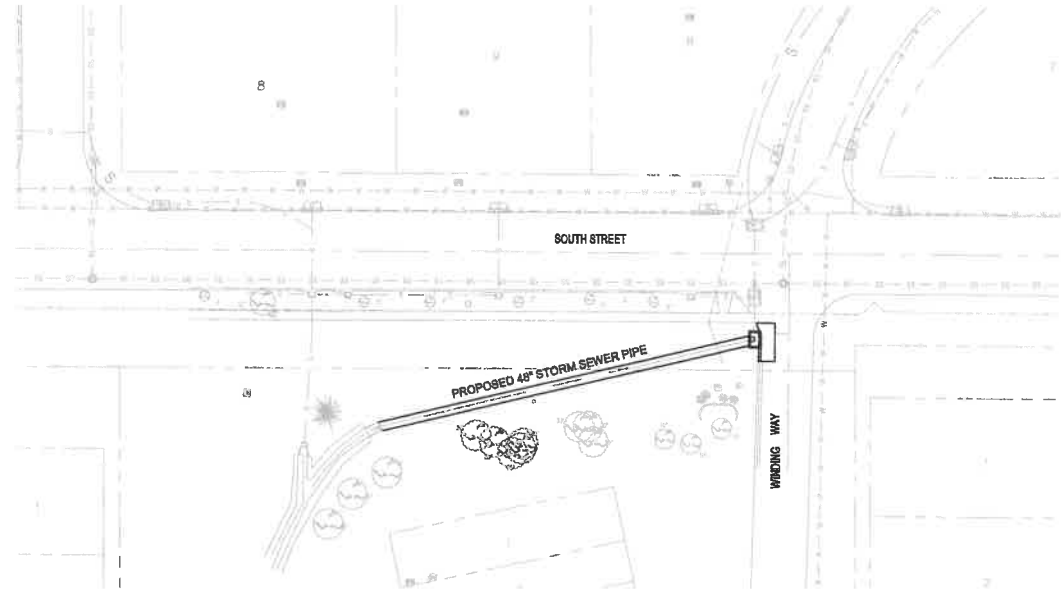
SHEET NO. C1.00
 Date: Nov. 16, 2022 Drawn: AH
 CE No.: 459-005-22 Check: TTB
 Scale: 1" = 30'-0" Prepared: TG



VICINITY MAP
NO SCALE

LEGEND

- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING PROPERTY LINE
- EXISTING UNDERGROUND TRAFFIC CONDUIT
- ROADWAY CENTERLINE
- ROADWAY BACK-OF-CURB
- PROPOSED STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CURB INLET
- EXISTING FLARED END SECTION
- EXISTING LIGHT POLE
- EXISTING TRANSFORMER
- EXISTING FLOOD LIGHT
- EXISTING ELECTRICAL BOX



SITE LAYOUT PLAN
SCALE: 1" = 50'-0"

LTU STANDARD PLANS & SPECIFICATIONS

lincoln.ne.gov/City/Departments/LTU/Transportation/Standards/LSP



Cover

Plot Time Stamp: 11/16/2022 8:18:13 AM
 File Location/Name: \\tcap-lr-srv-004\400-499\490-001-22 Lincoln Meadows Storm Sewer (03) AutoCAD\Private Storm Plans\490-001-C1.00.dwg

SCHEDULE OF APPROXIMATE QUANTITIES

ITEM	UNIT	QUANTITY
CONC FOR COLLARS, ELBOWS, PLUGS & HDWLS	CY	1.7
REINF STEEL FOR COLLARS, ELBOWS, PLUGS & HDWLS	LBS	110
PAVEMENT & SIDEWALK REMOVAL	CY	3
SAWING, TYPE "A"	LF	16
SAWING, TYPE "C"	LF	16
PCC PAVT W/INT CURB, 7"	SY	13
REMOVE STORM DRAIN PIPE, 46"	LF	178
RCP STORM DRAIN, CL III, 48"	LF	168
STORM DRAIN MH, 46"	EA	1

GENERAL NOTES

- CONTRACTOR TO PRESERVE ALL SURVEY CONTROL.
- PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND REQUEST A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE DEVELOPER'S ENGINEER, CITY INSPECTOR, OR DEVELOPER'S ENGINEER FIELD REPRESENTATIVE ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITY PIPES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE CONSTITUTES ALL KNOWN FACILITIES. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UNDERGROUND SERVICE ALERT @ 1-800-331-8688 IN ADVANCE OF ANY EXCAVATION FOR THE MARK-OUT OF THE LOCATION OF UTILITIES AND NOTIFICATION OF COMMENCEMENT OF WORK.
- BEFORE EXCAVATING FOR THIS CONTRACT, THE CONTRACTOR SHALL FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLAN IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL USE CAUTION AROUND ANY EXISTING UTILITIES OR IMPROVEMENTS LOCATED ON SITE. HE SHALL BE RESPONSIBLE FOR THE REPAIRS OF SUCH STRUCTURES WHEN BROKEN OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
- ALL SPOIL MATERIAL SHALL BE REMOVED FROM THE STREET ROW, UTILITY EASEMENT, OR ACCESS EASEMENT BY THE CONTRACTOR. SPOIL MATERIAL SHALL BE DEPOSITED WITHIN THE SITE DEVELOPMENT BOUNDARY IN AREAS DESIGNATED BY THE DEVELOPER'S ENGINEER. THE MATERIAL SHALL BE STOCKPILED OR SPREAD AS DIRECTED BY THE ENGINEER. NO SEPARATE PAYMENT SHALL BE MADE FOR DISPOSAL OF SPOIL MATERIAL; IT SHALL BE CONSIDERED SUBSIDIARY TO THE PRICE BID.
- A PORTABLE RESTROOM FACILITY WILL BE REQUIRED ON-SITE DURING CONSTRUCTION ACTIVITIES.
- ANY ON-SITE FUELING WILL COMPLY WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- A CONCRETE TRUCK WASHOUT WILL BE LOCATED ON SITE.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EROSION CONTROL MEASURES DAMAGED BY CONSTRUCTION ACTIVITIES.

STORM SEWER NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT "LINCOLN STANDARD SPECIFICATIONS FOR MUNICIPAL CONSTRUCTION" AND THE "LINCOLN STANDARD PLANS" AND ALL APPROVED ADDENDA AS OF THE DATE THAT THESE PLANS WERE APPROVED.
- FOR DETAILS OF TYPE "M-2" STORM SEWER MANHOLE, SEE LINCOLN STANDARD PLAN - 142.
- FOR DETAILS OF C.I. MANHOLE RING, COVER, AND STEPS, SEE LINCOLN STANDARD PLAN - 182.
- FOR DETAILS OF PIPE BEDDING, SEE LINCOLN STANDARD PLAN - 185.
- FOR DETAILS OF STORM SEWER CONSTRUCTION, SEE STANDARD SPECIFICATION, CHAPTER 21, CITY OF LINCOLN, NEBRASKA, AS OF THE DATE THAT THE PLANS WERE APPROVED. ALL STANDARD SPECIFICATIONS AND ADDENDA SHALL APPLY.
- ALL STATIONING AND DIMENSIONS ARE TO BE CENTERLINE OF VAULT UNLESS OTHERWISE NOTED. PIPE QUANTITIES ARE CALCULATED PER STANDARD SPECIFICATIONS.
- ALL STEEL FOR STRUCTURES SHALL BE EPOXY-COATED.

TRAFFIC CONTROL NOTES

- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION. THE CONTRACTOR SHALL DEVISE A TRAFFIC CONTROL PLAN AND SUBMIT TO THE ENGINEER FOR APPROVAL. SUBMIT A COPY OF THE TRAFFIC CONTROL PLAN TO URBAN DEVELOPMENT DEPARTMENT.
- TRAFFIC CONTROL SHALL BE PER CHAPTER 15 OF THE CURRENT "LINCOLN STANDARD SPECIFICATIONS FOR MUNICIPAL CONSTRUCTION" AND THE "LINCOLN STANDARD PLANS", AS OF THE DATE THAT THESE PLANS WERE APPROVED.
- ALL TRAFFIC CONTROL DEVICES SHALL BE LOCATED ACCORDING TO AND MEET THE REQUIREMENTS PRESCRIBED IN THE MUTCD.

LTU STANDARD PLANS & SPECIFICATIONS

lincoln.ne.gov/City/Departments/LTU/Transportation/Standards/LSP



Notes & Tables

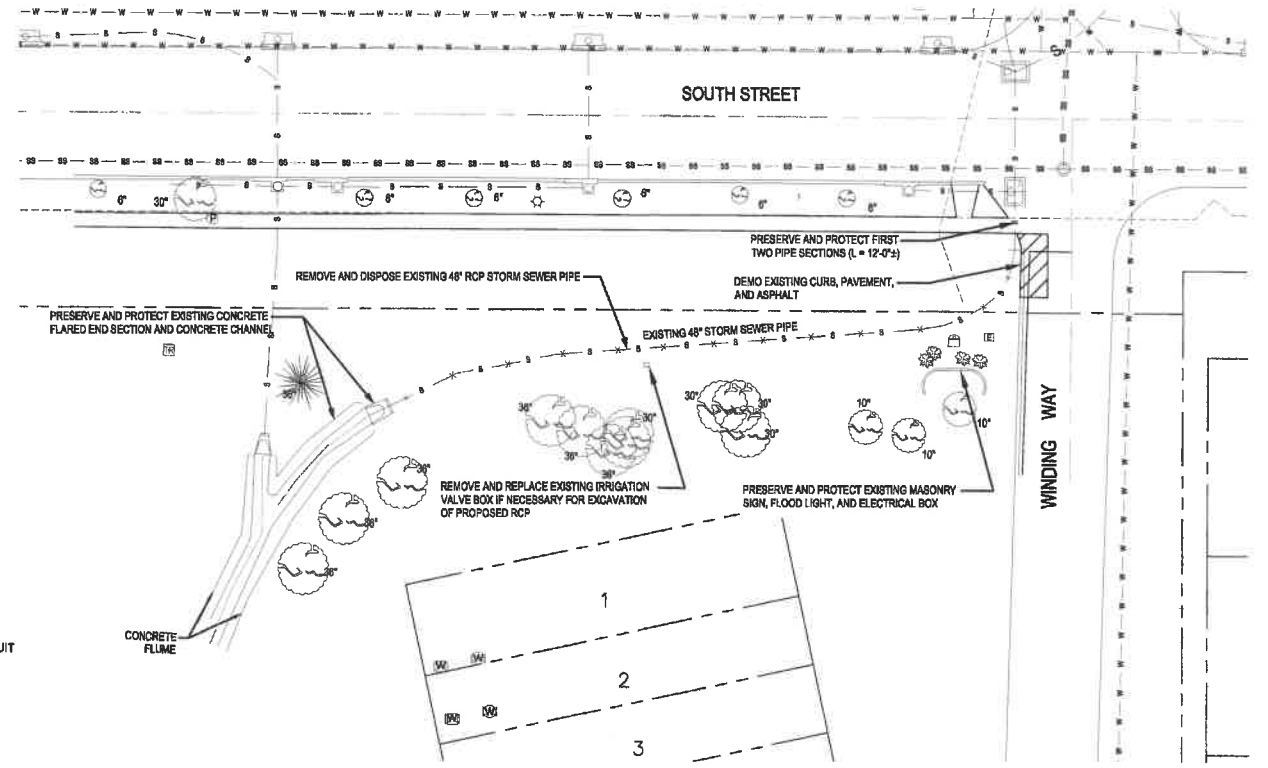
Plot Time Stamp: 11 / 16 / 2022 8:18:13 AM
 File Location/Name: \\lcep4n-srv-004\400-499\490-001-22 Lincoln Meadows Storm Sewer\03) AutoCAD\Private Storm Plans\490-001-C1.dwg

Plot Time Stamp: 11/16/2022 8:18:16 AM
 File Location/Name: \\capp-in-wr-004\400-499\490-001-22 Lincoln Meadows Storm Sewer (03) AutoCAD\Private Storm Plans\400-001-C1.02.dwg

LINCOLN MEADOWS STORM SEWER

CLARK & ENERSEN
 ENGINEERS
 400-001-22
 SCALE: 1"=30'-0"

SHEET NO. CL.02
 Date: Nov. 16, 2022
 CE No.: 400-001-22
 Scale: 1"=30'-0"
 Drawn: AH
 Checked: TB
 Approved: TB



LEGEND

- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING PROPERTY LINE
- EXISTING UNDERGROUND TRAFFIC CONDUIT
- ROADWAY CENTERLINE
- ROADWAY BACK-OF-CURB
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CURB INLET
- EXISTING FLARED END SECTION
- EXISTING LIGHT POLE
- EXISTING TRANSFORMER
- EXISTING FLOOD LIGHT
- EXISTING ELECTRICAL BOX
- EXISTING TREES
- DEMO EXISTING PAVEMENT/ASPHALT

EXISTING SITE PLAN

SCALE: 1"=30'-0"

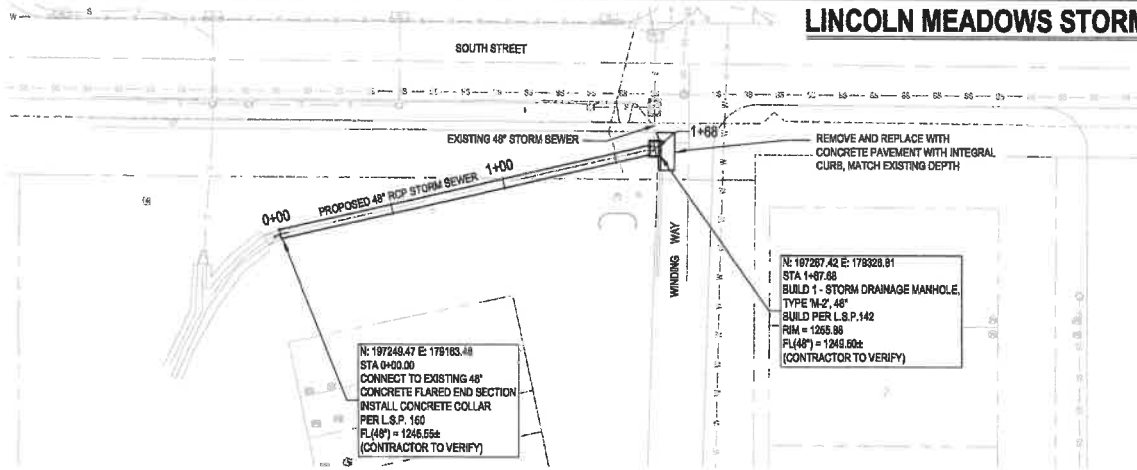
GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS SHOWN ON PLAN. ANY DISCREPANCIES NOTICED IN FIELD SHALL BE RELAYED TO ENGINEER/OWNER PRIOR TO COMMENCEMENT OF WORK.
2. UNDERGROUND IMPROVEMENTS ARE UNKNOWN, UTILITY LOCATIONS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES AND SHALL REPAIR ANY SUCH DAMAGE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED THROUGH THE "ONE CALL" SYSTEM BEFORE DIGGING. CALL THE UNDERGROUND HOTLINE FOR UTILITY LOCATIONS AT 1-800-351-8888



Existing Site Plan

Plot Time Stamp: 11 / 16 / 2022 8:18:16 AM
 File Location/Name: \\lcap-in-srv-004\400-499\490-001-22 Lincoln Meadows Storm Sewer\03 AutoCAD\Private Storm Plans\490-001-C1.02.dwg

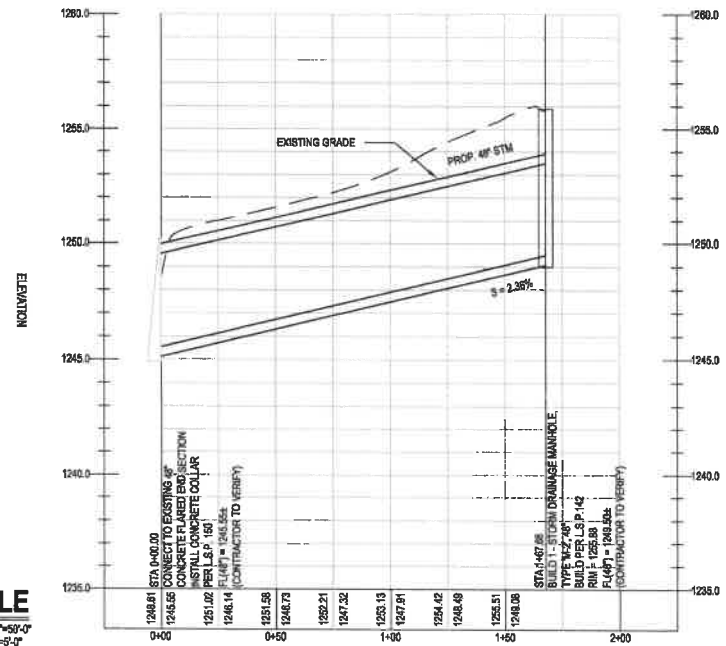


CLARK & ENERSEN

DATE: 10/10/2022
 DRAWN: AM
 CHECKED: TG
 APPROVED: TG

SHEET NO. C1.03

STORM SEWER LAYOUT PLAN



PROFILE
 HORIZ. SCALE: 1"=50'-0"
 VERT. SCALE: 1"=5'-0"



Storm Sewer
 Layout Plan



Date: 12/8/22

Lincoln Meadows HOA
Attn: Mr. Myron Tremain - President
6415 Boxelder Drive
Lincoln, Nebraska 68510

Project: Lincoln Meadows Storm Sewer
Location: Lincoln, Nebraska
CE Project No.: 490-001-22

RE: Proposal to Construct New 48" Storm Sewer Line and Manhole

Dear Mr. Tremain,

Attached to this cover sheet is our proposal for the aforementioned project.

Inclusions are listed in the bid schedule of values.

Exclusions are as follows:

1. Seeding/Sodding
2. Lawn maintenance
3. Traffic control other than normal traffic control devices. Jersey curb or other substantial barrier systems are specifically excluded.
4. Bond
5. Tree removal/restoration.
6. Anything not specifically included, is specifically excluded from our proposal.
7. Flume reconstruction of any kind.
8. Flared End Section (FES) repair or reconstruction of any kind.

9. Unsuitable material removal/disposal. Saturated subsurface materials are considered unsuitable materials and must be disposed of and new structural fill brought in to have a structurally sound foundation on which to construct the storm sewer system. This item would be considered a change order.

Payment Terms: Net 30 Days

Proposal Active for 90 calendar days

If you have any questions regarding this correspondence, please contact this office at your earliest convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Craig True', written over a light gray background.

Craig True
General Manager

Bauer Infrastructure, LLC
402-421-6316
18570 SW 29th Street
Martell, Nebraska 68404
www.bauerinfrastructure.com

11/29/2022

16:09

22-093

Lincoln Meadows Storm Sewer

*** Tony A. Ruhge

BID TOTALS

<u>Biditem</u>	<u>Description</u>	<u>Status - Rnd</u>	<u>Quantity</u>	<u>Units</u>	<u>Unit Price</u>	<u>Bid Total</u>
1000	Concrete For Collars, Elbows, Plugs, Hdwl		1.700	CY	718.34	1,221.18
1010	Reinforcing Steel for Collars, Elbows, Plugs		110.000	LBS	2.87	315.70
1020	Pavement and Sidewalk Removal		3.000	CY	159.46	478.38
1030	Sawing Type A		16.000	LF	9.75	156.00
1040	Sawing Type C		16.000	LF	11.59	185.44
1050	PCC Pavement w/Int Curb, 7"		13.000	SY	181.11	2,354.43
1060	Remove Storm Drain Pipe, 48"		176.000	LF	57.89	10,188.64
1070	RCP Storm Drain Pipe, CL III, 48"		168.000	LF	283.39	47,609.52
1080	Storm Drain MH, 48"		1.000	EA	9,259.12	9,259.12
			Bid Total	====>		\$71,768.41

PROPOSAL

December 7, 2022

To: Myron Tremain

Project: Lincoln Meadows Storm Sewer
 Location: South Street and Winding Way
 Lincoln, Nebraska

Engineer: Tim Gergen

We propose to furnish the following described material and labor at prices, terms and conditions as noted below:

Item	Description	Quantity	Unit	Unit Price	Total
1.	Mobilization	1	ls	7,000.00	7,000.00
2.	Concrete for Collars, Elbows	1.7	cy	1,200.00	2,040.00
3.	Reinforcing Steel for Collars, Elbows	110	lbs	4.00	440.00
4.	Pavement and Sidewalk Removal	3	cy	45.00	135.00
5.	Sawing Type A	16	lf	5.00	80.00
6.	Sawing Type B	16	lf	5.00	80.00
7.	PCC Pavement w/ Integral Curb, 7-inch	13	sy	175.00	2,275.00
8.	Remove Storm Sewer Pipe, 48-inch	176	lf	50.00	8,800.00
9.	RCP Storm Sewer Pipe, 49-inch	168	lf	310.00	52,080.00
10.	Storm :Sewer Manhole, 48-inch	1	ea	8,500.00	8,500.00
.		0	ea	0.00	0.00
					<u>\$81,430.00</u>

Terms: Estimates for payment to be submitted monthly for 100% of the value of work completed; due and payable 30 days from date of invoice. Past due accounts draw interest at 1.5% per month.

Final payment to be based on final "as built" measurements, unless otherwise stated.

The following items have not been included unless bid item:

1. Performance and maintenance bond (add 1 1/2% if required)
2. Penalties of any kind
3. Retainage of any kind
4. Dewatering other than sumping
5. Disposal of contaminated soils
6. Staking or engineering services
7. Seed or Sod
8. Testing services (tv sewer, soil, concrete, etc.)
9. Any fire hydrant extensions unless a bid item
10. Concrete removals or replacements unless bid item
11. Plumbing permits or plumber charges
- 12. Extra dirt hauled off**
13. SWPPP reports, silt fence or any storm water protection items unless a bid item

14. Concrete pavement or sidewalk removal or replacement unless a bid item
15. Railroad Protective insurance or Railroad Flagman
16. Television of Sanitary Sewer
17. Potholing unless bid item
18. Staging area, construction entrance, concrete washout
19. Any Fire Marshall: permits, inspections and coordination to be done by general contractor
20. HRB install pipe to within five feet of building without connection to building
21. Adjust Ring and Covers and/or Valve Boxes to Final Grade in Paving (By Paving Contractor)
22. No clearing and grubbing and/or large tree removal
23. Traffic Control unless bid item

Notice

- 1 Backfill shall be a usable on site material .
(if backfill has to be dried or new material hauled in, it will be at additional cost to owner)
- 2 Street grading shall be certified by an engineer before the start of utility construction.
- 3 A letter will be written to HRB that the project was completed by HRB to specifications.
- 4 Compaction tests will be done daily and passed by engineers before HRB moves off the project.
- 5 Final payment will be made to HRB when the engineer states the project is completed.
- 6 The Owner or general will provide a staging area at no cost to HRB.

Respectfully submitted,
H.R. Bookstrom Construction Inc.

Eric G. Bookstrom

Eric G. Bookstrom, Vice President

Eric Bookstrom, Vice President

H.R. Bookstrom Construction, Inc.

6401 North 60th Street

Lincoln, NE 68507

eric.bookstrom@gmail.com

eric@hrbookstrom.com

Office: 402-464-4342

Fax: 402-464-4846

Cell: 402-430-1168

Home: 402-489-8631



PROPOSAL

PROPOSAL SUBMITTED TO Lincoln Meadows HOA	PHONE	DATE December 2 nd , 2022
STREET South St and Winding Way	FAX#	MOBILE PHONE
CITY, STATE AND ZIP CODE: Lincoln, NE	JOB NAME: Lincoln Meadows Storm Sewer	
ATTN: Estimating	JOB LOCATION Lincoln, NE	

We hereby submit this proposal for the following items:

Storm Furnish and install the storm system as shown on the contract drawings. We have included the removal of the 48" Storm Sewer as well as the installation of the new 48" RCP Storm Sewer. We have also included the pavement removal and replacement with the placement of the Manhole.

We acknowledge zero addendum. If an additional mobilization cost is required, we will add \$1,500 to the contract value.

Exclusions:

- | | |
|---|--------------------------|
| Soils and concrete testing | Dewatering |
| Bonding (if required please add 1%) | Impact Fees |
| All SWPPP Items | Removal of Utilities |
| Removal or Disposal of Contaminated/Unsuitable/Frozen Soils | Locate Private Utilities |
| Survey | |

ITEM	UNIT	QUANTITY	BID PRICE	TOTAL
CONC FOR COLLARS, ELBOWS, PLUGS & HDWLS	CY	1.7	\$651.00	\$1,106.70
REINF STEEL FOR COLLARS, ELBOWS, PLUGS & HDWLS	LBS	110	\$6.00	\$660.00
PAVEMENT & SIDEWALK REMOVAL	CY	3	\$54.00	\$162.00
SAWING, TYPE "A"	LF	16	\$18.00	\$288.00
SAWING, TYPE "C"	LF	16	\$18.00	\$288.00
PCC PAVT W/INT CURB, 7"	SY	13	\$513.00	\$6,669.00
REMOVE STORM DRAIN PIPE, 48"	LF	176	\$120.00	\$21,120.00
RCP STORM DRAIN, CL III, 48"	LF	168	\$334.00	\$56,112.00
STORM DRAIN MH, 48"	EA	1	\$15,594.30	\$15,594.30

* Hydro Vac services are available to verify elevations and locations of existing utilities in the proposed work area if needed. Call (402) 430-3197 for pricing.

We Propose hereby to furnish material and labor-complete in accordance with above specifications, for the sum of:
One Hundred Two Thousand and 00/100*****dollars \$ 102,000.00

Terms and Conditions: NET 30 days

All material is guaranteed to be as specified. All work to be completed in a work manlike manner according to standard practices. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Signature

Jake Sflow

Note: This proposal may be withdrawn by us if not accepted within 30 days.



This Proposal is expressly contingent on the current pricing of materials and labor as provided by Subcontractors and Suppliers for this Project. As of the date of this Proposal, certain unforeseen events have arisen that are impacting and are likely to continue to impact the pricing of this Project. This includes markets which provide essential materials which are experiencing significant, industry-wide economic pricing fluctuation due to availability of materials and other supply chain issues. In addition, the Coronavirus and related pandemics have caused such impacts as well. As a result, if the pricing of materials or labor increases from those prices provided in the Proposal, between the submittal of the Proposal and the time in which General Excavating Company is able to execute subcontracts and purchase orders, the Proposal will be equitably adjusted by the amount reasonably necessary to cover such price escalations. Further to the extent that shortages of materials occur due to the above unforeseen events, the time for performance of the work in the Proposal will be extended by the amount of time reasonably necessary to cover the delays in the deliveries of such materials.

Acceptance of Proposal-The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature _____



PROPOSAL

PROPOSAL SUBMITTED TO Lincoln Meadows HOA	PHONE	DATE December 2nd, 2022
STREET South St and Winding Way	FAX#	MOBILE PHONE
CITY, STATE AND ZIP CODE Lincoln, NE	JOB NAME Lincoln Meadows Storm Sewer	
ATTN: Estimating	JOB LOCATION Lincoln, NE	

We hereby submit this proposal for the following items:

Storm Furnish and install the storm system as shown on the contract drawings. We have included the removal of the 48" Storm Sewer as well as the installation of the new 48" RCP Storm Sewer. We have also included the pavement removal and replacement with the placement of the Manhole.

We acknowledge zero addendum. If an additional mobilization cost is required, we will add \$1,500 to the contract value.

Exclusions:


- | | |
|---|--------------------------|
| Soils and concrete testing | Dewatering |
| Bonding (if required please add 1%) | Impact Fees |
| All SWPPP Items | Removal of Utilities |
| Removal or Disposal of Contaminated/Unsuitable/Frozen Soils | Locate Private Utilities |
| Survey | |

* Hydro Vac services are available to verify elevations and locations of existing utilities in the proposed work area if needed. Call (402) 430-3197 for pricing.

We Propose hereby to furnish material and labor-complete in accordance with above specifications, for the sum of:
One Hundred Two Thousand and 00/100***dollars \$ 102,000.00**

Terms and Conditions: NET 30 days

All material is guaranteed to be as specified. All work to be completed in a work manlike manner according to standard practices. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Signature 
 Jake Shaw

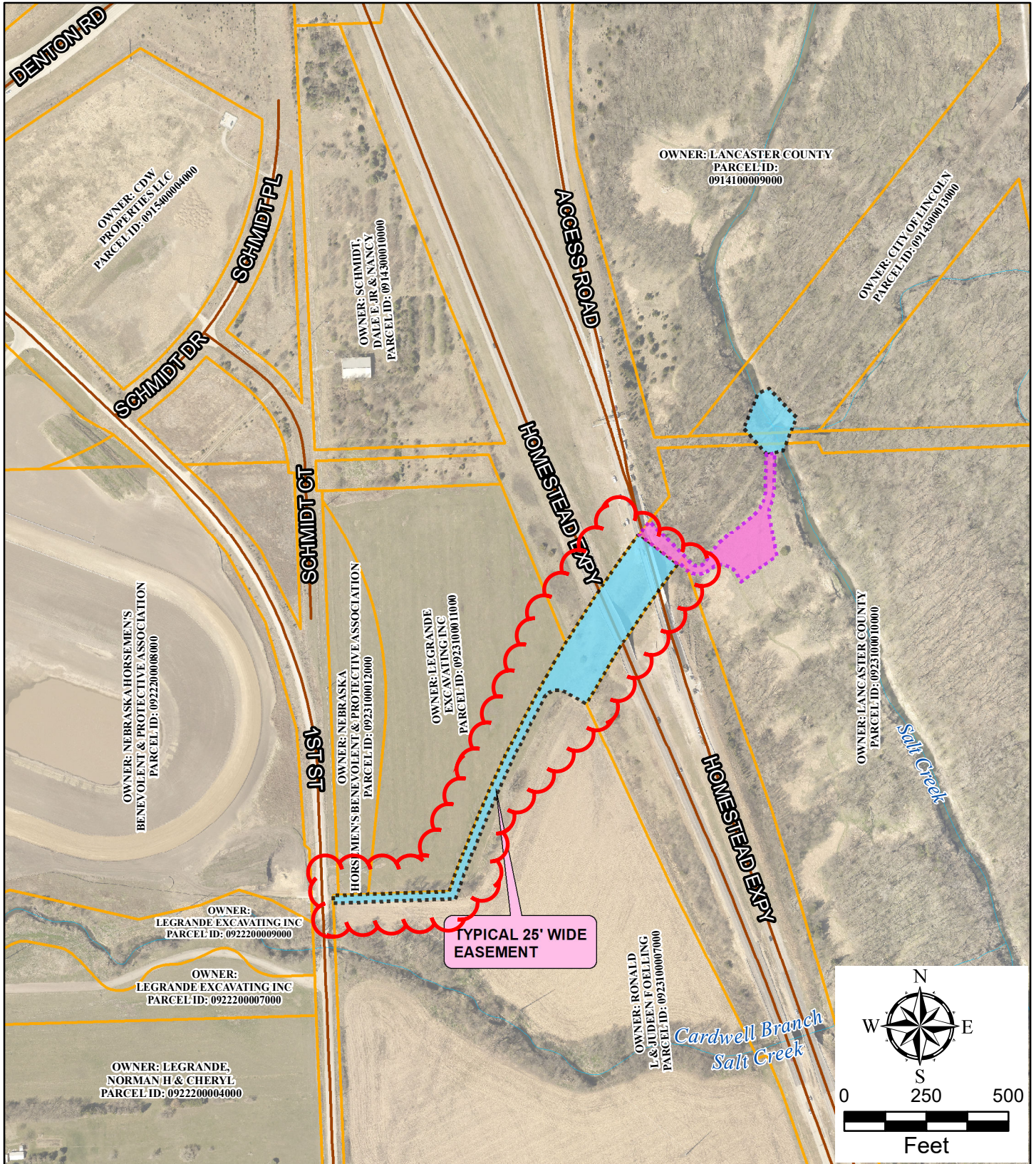
Note: This proposal may be withdrawn by us if not accepted within 30 days.

This Proposal is expressly contingent on the current pricing of materials and labor as provided by Subcontractors and Suppliers for this Project. As of the date of this Proposal, certain unforeseen events have arisen that are impacting and are likely to continue to impact the pricing of this Project. This includes markets which provide essential materials which are experiencing significant, industry-wide economic pricing fluctuation due to availability of materials and other supply chain issues. In addition, the Coronavirus and related pandemics have caused such impacts as well. As a result, if the pricing of materials or labor increases from those prices provided in the Proposal, between the submittal of the Proposal and the time in which General Excavating Company is able to execute subcontracts and purchase orders, the Proposal will be equitably adjusted by the amount reasonably necessary to cover such price escalations. Further to the extent that shortages of materials occur due to the above unforeseen events, the time for performance of the work in the Proposal will be extended by the amount of time reasonably necessary to cover the delays in the deliveries of such materials.

Acceptance of Proposal-The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature _____



MAIN STEM PROPOSED EASEMENTS

Legend

- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- PARCEL LINE

Parcel Information		Property Area (ac)	Permanent Easement (ac)	Temporary Easement (ac)
Parcel ID #	09-14-300-013-000	20.70	0.34	---
Owner:	CITY OF LINCOLN			
Parcel ID #	09-23-100-010-000	87.43	0.04	0.88
Owner:	LANCASTER COUNTY			
Parcel ID #	09-23-100-007-000	47.40	2.39	---
Owner:	RONALD L & JUDEEN F OELLING			
Parcel ID #	00-00-000-000-000	---	---	0.01
Owner:	UNKNOWN (POSSIBLE NDOT R/W)			
Parcel ID #	00-00-000-000-000	---	0.08	---
Owner:	UNKNOWN (POSSIBLE RR R/W)			



Exhibit 1 of 1

EXHIBIT "A"

LEGAL DESCRIPTION

A PERMANENT EASEMENT LOCATED IN PART OF LOTS 34 AND 48, I.T., IRREGULAR TRACTS LOCATED IN PART OF THE NW1/4 OF SECTION 23, TOWNSHIP 09 NORTH, RANGE 06 EAST OF THE 6TH P.M., LANCASTER COUNTY, NEBRASKA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NW1/4 OF SECTION 23; THENCE S00°07'47"E (ASSUMED BEARING) ALONG THE WEST LINE OF SAID NW1/4 OF SECTION 23, A DISTANCE OF 1,325.18 FEET TO THE SOUTHWEST CORNER OF THE NW1/4 OF SAID NW1/4 OF SECTION 23, SAID POINT ALSO BEING THE NORTHWEST CORNER OF THE SW1/4 OF SAID NW1/4 OF SECTION 23; THENCE S89°53'09"E ALONG THE SOUTH LINE OF SAID NW1/4 OF THE NW1/4 OF SECTION 23, SAID LINE ALSO BEING THE NORTH LINE OF SAID SW1/4 OF THE NW1/4 OF SECTION 23, A DISTANCE OF 33.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 34, I.T., SAID POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF 1ST STREET, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUING S89°53'09"E ALONG SAID SOUTH LINE OF THE NW1/4 OF SECTION 23, SAID LINE ALSO BEING SAID NORTH LINE OF THE SW1/4 OF THE NW1/4 OF SECTION 23, SAID LINE ALSO BEING THE NORTHERLY LINE OF SAID LOT 34, I.T., SAID LINE ALSO BEING THE SOUTHERLY LINE OF OUTLOT "D", SOUTHWEST VILLAGE 4TH ADDITION, A SUBDIVISION LOCATED IN PART OF SAID NW1/4 OF SECTION 23, SAID LINE ALSO BEING THE SOUTHERLY LINE OF OUTLOT "B", SOUTHWEST VILLAGE 3RD ADDITION, A SUBDIVISION LOCATED IN PART OF SAID NW1/4 OF SECTION 23, A DISTANCE OF 403.04 FEET TO THE SOUTHEAST CORNER OF SAID OUTLOT "B", SOUTHWEST VILLAGE 3RD ADDITION; THENCE ALONG THE EASTERLY LINE OF SAID OUTLOT "B", SOUTHWEST VILLAGE 3RD ADDITION ON THE FOLLOWING TWO (2) DESCRIBED COURSES: (1) THENCE N22°48'39"E, A DISTANCE OF 64.70 FEET; (2) THENCE NORTHEASTERLY ON A CURVE TO THE RIGHT WITH A RADIUS OF 4,373.42 FEET, A DISTANCE OF 720.66 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N27°31'44"E, A DISTANCE OF 719.84 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 77; THENCE N20°14'08"W ALONG SAID EASTERLY LINE OF OUTLOT "B", SOUTHWEST VILLAGE 3RD ADDITION, SAID LINE ALSO BEING SAID WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 77, A DISTANCE OF 23.75 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 48, I.T.; THENCE NORTHEASTERLY ALONG SAID WESTERLY LINE OF LOT 48, I.T. ON A CURVE TO THE RIGHT WITH A RADIUS OF 4,369.29 FEET, A DISTANCE OF 406.54 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N34°32'31"E, A DISTANCE OF 406.39 FEET; THENCE S49°12'11"E, A DISTANCE OF 150.31 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 48, I.T.; THENCE SOUTHWESTERLY ALONG SAID EASTERLY LINE OF LOT 48, I.T. ON A CURVE TO THE LEFT WITH A RADIUS OF 4,219.29 FEET, A DISTANCE OF 511.01 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S33°36'36"W, A DISTANCE OF 510.69 FEET TO THE NORTHEAST CORNER OF LOT 36, I.T., SAID POINT ALSO BEING ON SAID WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 77; THENCE N59°16'07"W, A DISTANCE OF 107.44 FEET; THENCE ALONG A LINE 25.00 FEET EAST OF AND PARALLEL WITH SAID EASTERLY LINE OF OUTLOT "B", SOUTHWEST VILLAGE 3RD ADDITION ON THE FOLLOWING TWO (2) DESCRIBED COURSES: (1) THENCE SOUTHWESTERLY ON A CURVE TO THE LEFT WITH A RADIUS OF 4,348.42 FEET, A DISTANCE OF 601.32 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S26°46'11"W, A DISTANCE OF 600.84 FEET; (2) THENCE S22°48'39"W, A DISTANCE OF 81.34 FEET; THENCE N89°53'09"W ALONG A LINE 25.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE SW1/4 OF THE NW1/4 OF SECTION 23, A DISTANCE OF 419.57 FEET TO A POINT ON SAID EASTERLY RIGHT-OF-WAY LINE OF 1ST STREET; THENCE N00°07'47"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF 1ST STREET, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING.

SAID PERMANENT EASEMENT CONTAINS 103,570 SQUARE FEET OR 2.378 ACRES, MORE OR LESS.

SEE SHEET 1 OF 2 FOR DRAWING



E & A CONSULTING GROUP, INC.

Engineering Answers

E & A CONSULTING GROUP, INC.

Engineering • Planning • Environmental & Field Services

10909 Mill Valley Road, Suite 100 • Omaha, NE 68154 Phone: 402.895.4700 • Fax: 402.895.3599

Job No.: 2022.069.001

Date: 11/10/2022

Drawn by: RLS

Scale: 1"=200'

Sheet: 2 of 2

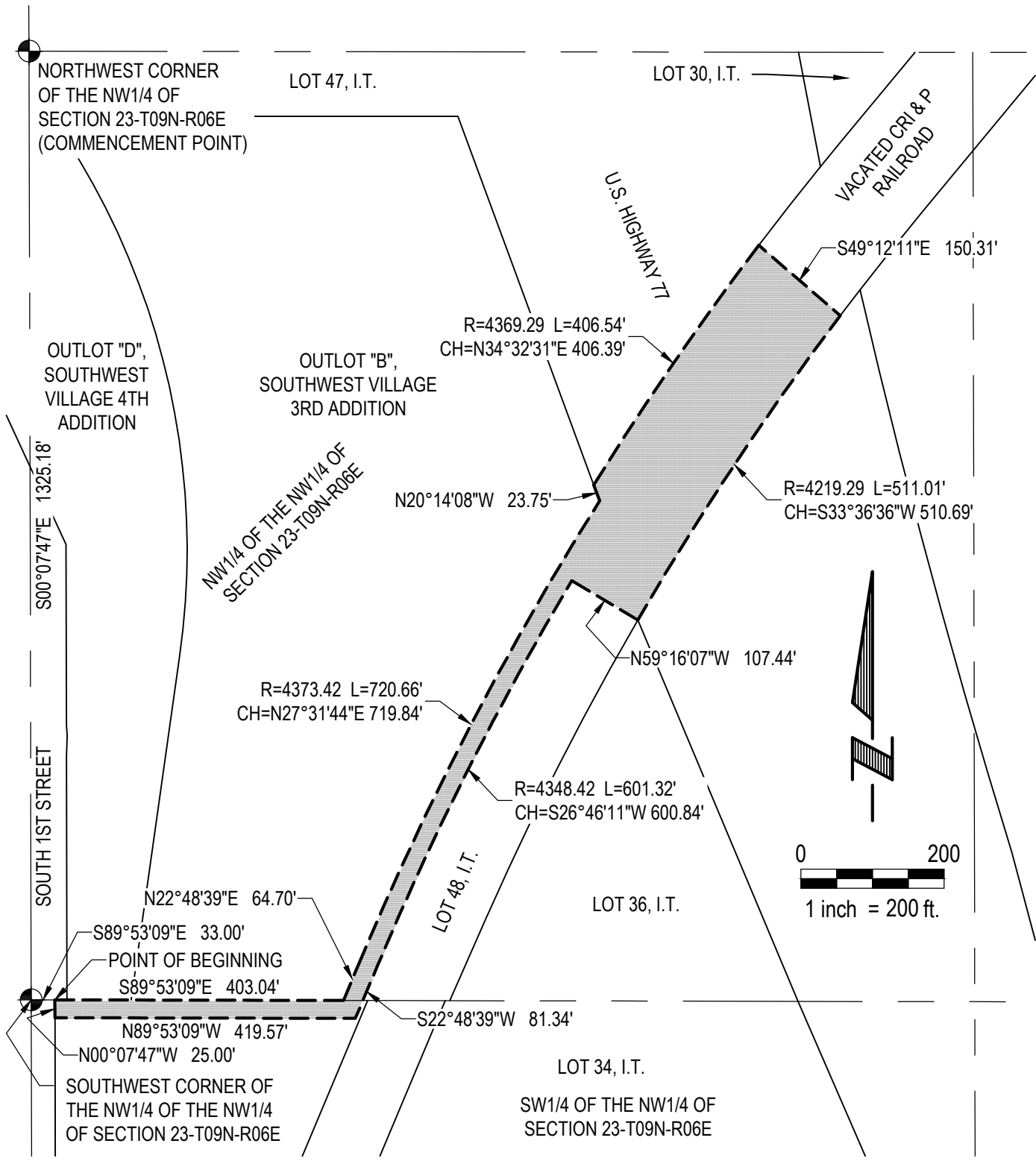
PERMANENT EASEMENT

LOTS 34 AND 48, I.T.

(OELLING RONALD AND JUDEEN)

LANCASTER COUNTY, NEBRASKA

EXHIBIT "B"



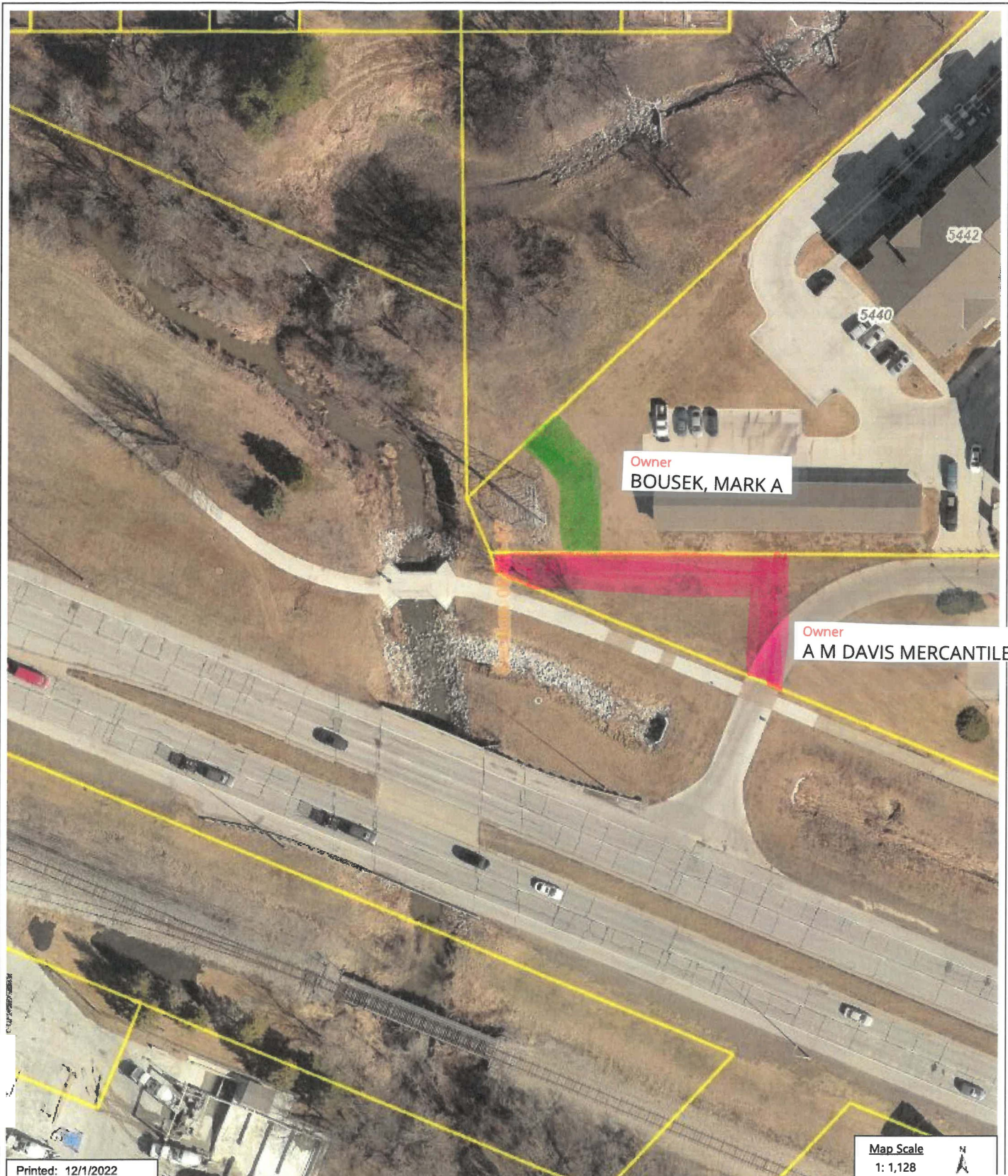
SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION

 E & A CONSULTING GROUP, INC. <i>Engineering Answers</i>	E & A CONSULTING GROUP, INC. Engineering • Planning • Environmental & Field Services 10909 Mill Valley Road, Suite 100 • Omaha, NE 68154 Phone: 402.895.4700 • Fax: 402.895.3599		PERMANENT EASEMENT LOTS 34 AND 48, I.T. (OELLING RONALD AND JUDEEN) LANCASTER COUNTY, NEBRASKA
	Job No.: 2022.069.001	Date: 11/10/2022	
Drawn by: RLS	Scale: 1"=200'	Sheet: 1 of 2	

Beal Slough Bank Stabilization near 52nd (5200) + Highway 2



Map By: Lower Platte South NRD, sdr - March 2022 - Sources: City of Lincoln/Lancaster County; Lower Platte South Natural Resources District



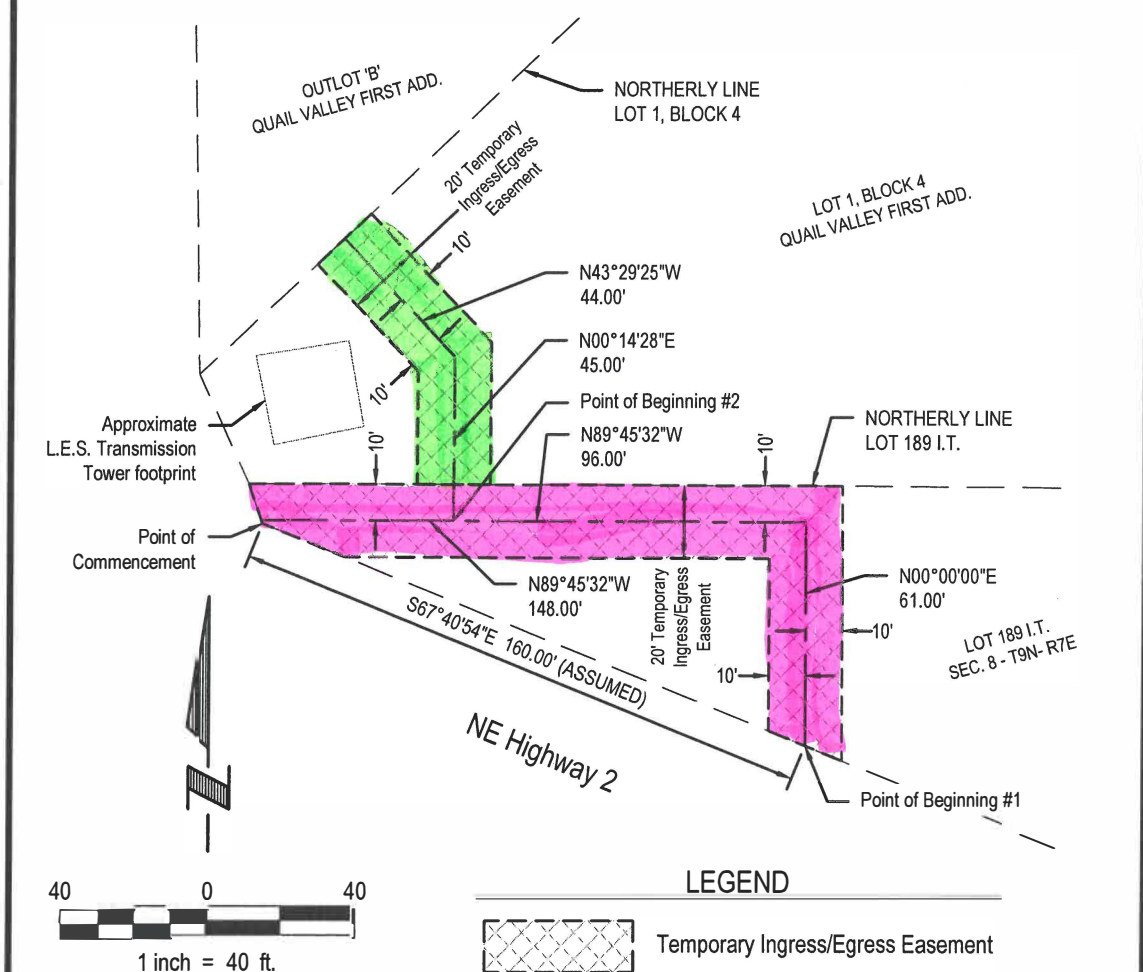
Printed: 12/1/2022

Map Scale
1: 1,128

DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email assessor@lanaster.ne.gov and you will be directed to the appropriate department.

EXHIBIT "A"

Temporary Ingress/Egress Easement



TEMPORARY EASEMENT DESCRIPTION #1

AN EASEMENT OF INGRESS AND EGRESS, 20 FEET IN WIDTH (10 FEET EACH SIDE OF THE BELOW DESCRIBED CENTERLINE), WITHIN A PORTION OF LOT 189 IRREGULAR TRACT, LOCATED IN THE SE 1/4, SECTION 8, TOWNSHIP 9 NORTH, RANGE 7 EAST OF THE 6TH P.M., LANCASTER COUNTY, NEBRASKA, THE CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWESTERLY CORNER OF LOT 189 IRREGULAR TRACT, LOCATED IN THE SE 1/4, SECTION 8, TOWNSHIP 9 NORTH, RANGE 7 EAST OF THE 6TH P.M., LANCASTER COUNTY, NEBRASKA; THENCE S67°40'54"E (ASSUMED BEARING) ALONG THE SOUTHERLY LINE OF SAID LOT 189 IRREGULAR TRACT, SAID LINE ALSO BEING THE NORTHERLY LINE OF NEBRASKA HIGHWAY #2 RIGHT-OF-WAY, A DISTANCE OF 160.00 FEET TO THE POINT OF BEGINNING OF EASEMENT #1, SAID POINT ALSO BEING THE CENTERLINE OF THE DESCRIBED INGRESS AND EGRESS EASEMENT #1; THENCE N00°00'00"E, A DISTANCE OF 61.00 FEET, TO A POINT 10.00 FEET SOUTH OF THE NORTHERLY LINE OF SAID LOT 189 IRREGULAR TRACT; THENCE N89°45'32"W, 10.00 FEET SOUTH AND PARALLEL TO SAID NORTHERLY LINE OF SAID LOT 189 IRREGULAR TRACT, A DISTANCE OF 148.00 FEET TO THE POINT OF TERMINATION OF THE CENTERLINE OF THE DESCRIBED INGRESS AND EGRESS EASEMENT #1, SAID POINT ALSO BEING A POINT OF INTERSECTION ON THE WEST LINE OF SAID LOT 189 IRREGULAR TRACT.

SAID INGRESS/EGRESS EASEMENT CONTAINS 4,100.00 SQUARE FEET OR 0.094 ACRES, MORE OR LESS.

TEMPORARY EASEMENT DESCRIPTION #2

AN EASEMENT OF INGRESS AND EGRESS, 20 FEET IN WIDTH (10 FEET EACH SIDE OF THE BELOW DESCRIBED CENTERLINE), WITHIN A PORTION OF A LOT 189 IRREGULAR TRACT AND LOT 1, BLOCK 4, QUAIL VALLEY FIRST ADDITION, ALL LOCATED IN THE SE 1/4, SECTION 8, TOWNSHIP 9 NORTH, RANGE 7 EAST OF THE 6TH P.M., LANCASTER COUNTY, NEBRASKA, THE CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWESTERLY CORNER OF LOT 189 IRREGULAR TRACT, LOCATED IN THE SE 1/4, SECTION 8, TOWNSHIP 9 NORTH, RANGE 7 EAST OF THE 6TH P.M., LANCASTER COUNTY, NEBRASKA; THENCE S67°40'54"E (ASSUMED BEARING) ALONG THE SOUTHERLY LINE OF SAID LOT 189 IRREGULAR TRACT, SAID LINE ALSO BEING THE NORTHERLY LINE OF NEBRASKA HIGHWAY #2 RIGHT-OF-WAY, A DISTANCE OF 160.00 FEET TO THE DESCRIBED CENTERLINE OF EASEMENT #1; THENCE N00°00'00"E, A DISTANCE OF 61.00, TO A POINT 10.00 FEET SOUTH OF THE NORTHERLY LINE OF SAID LOT 189 IRREGULAR TRACT; THENCE N89°45'32"W ALONG SAID CENTERLINE, 10.00 FEET SOUTH AND PARALLEL TO THE NORTHERLY LINE OF SAID LOT 189 IRREGULAR TRACT, A DISTANCE OF 96.00 FEET TO THE POINT OF BEGINNING OF EASEMENT #2, SAID POINT ALSO BEING THE CENTERLINE OF THE DESCRIBED INGRESS AND EGRESS EASEMENT #2; THENCE N00°14'28"E, A DISTANCE OF 45.00 FEET; THENCE N43°29'25"W, A DISTANCE OF 44.00 FEET TO THE POINT OF TERMINATION OF THE CENTERLINE OF THE DESCRIBED INGRESS AND EGRESS EASEMENT #2, SAID POINT ALSO BEING A POINT OF INTERSECTION ON THE WEST LINE OF SAID LOT 1, BLOCK 4.

SAID INGRESS/EGRESS EASEMENT CONTAINS 1,583.00 SQUARE FEET OR 0.036 ACRES, MORE OR LESS.

<p>E & A CONSULTING GROUP, INC. Engineering • Planning • Environmental & Field Services 701 O Street, Suite 400 • Lincoln, NE 68508 Phone: 402.420.7217 • Fax: 402.420.7218</p>	<p>52nd and Highway 2</p> <p>Beal Slough</p> <p>Lincoln, Nebraska</p>	
	<p>Drawn by: MJG Scale: AS SHOWN Date: 11.30.2022</p>	<p>Job No.: P2022.070.001</p>